

City of Findlay City Planning Commission

Thursday, April 11, 2013 - 9:00 AM

COMMENTS

NEW ITEMS

1. **FINAL PLAT #FP-01-2013** filed by Birchaven Estates at Eastern Woods, Ltd., 15100 Birchaven Lane, Findlay, OH to replat Lot 3 in the Eastern Woods Subdivision.

HRPC

General Information

This plat is located at the north end of Eastern Wood Drive. The land is zoned M-2 Multiple Family High Density. The properties to the west are zoned CD Condominium District and O1 Institutions and Offices. The property to the north is also M-2 Multiple Family High Density. To the south is zoned C-1 Local Commercial and to the east is zoned A-1 Agriculture in Marion Township. The City Land Use Plan designates the land as PMUD (Planned Mixed Use Development). The site is not located within the 100 year flood plain.

Parcel History

This site is currently vacant land. In April, 2012 this area was brought to CPC for a request to rezone from Single Family to CD Condominium and M-2 Multiple Family High Density.

Staff Analysis

Item #3 on today's agenda is a site plan for an apartment complex to be constructed on the proposed Lot 14 of this replat. In the review process for the site plan, we noted that the lot coverage for impervious surface in the M-2 district is exceeded. A suggestion at this point would be the possible reconfiguring of Lot 14 to include more acreage to make the site plan work

ENGINEERING

No Comment

FIRE PREVENTION

No Comment

STAFF RECOMMENDATION

Staff recommends that FCPC approve the Replat of Lot 3 in the Eastern Woods Subdivision.

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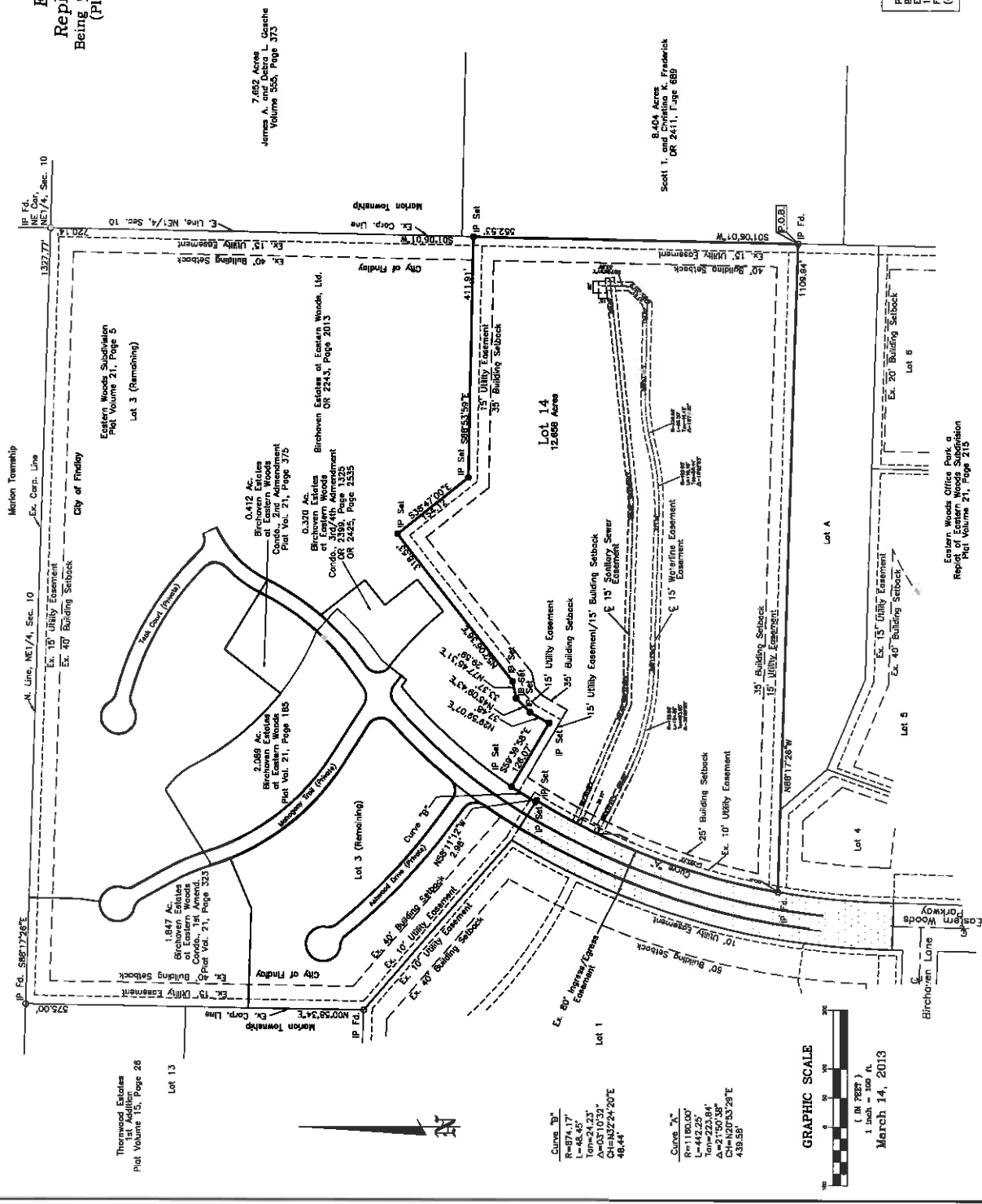
Hancock County GIS



Notes

FINAL PLAT #FP-01-2013
REPLAT OF LOT 3 EASTERN WOODS SUBDIVISION

**Eastern Woods Apartments a
Replat of Eastern Woods Subdivision**
Being part of Lot 3 of Eastern Woods Subdivision
(Plat Volume 21, Page 5), City of Findlay,
County of Hancock, Ohio
12.658 Acres



Theresean Estates
1st Addition
Plat Volume 15, Page 26

Lot 13

Lot 15

Lot 20

Lot 5

Lot 6

Lot 4

Lot 3

Lot 14

Lot 1

Lot A

Eastern Woods Office Park a
Replat of Eastern Woods Subdivision
Plat Volume 21, Page 215

Eastern Woods Subdivision
Plat Volume 21, Page 5

Eastern Woods Subdivision
Plat Volume 21, Page 5

Eastern Woods Subdivision
Plat Volume 21, Page 5

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Plat Volume 21, Page 5

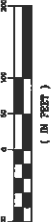
Eastern Woods Subdivision
Plat Volume 21, Page 5

7.652 Acres
James A. ...
Volume 553, Page 375

8.453 Acres
Scott T. and Christina K. Fradwick
DR 2411, Page 689

- = 1" x 30" Rebar with Aluminum Cap Set
- = 1" x 30" Rebar with Aluminum Cap Found

GRAPHIC SCALE
1 inch = 100 ft.
March 14, 2013



Prepared for:
Birchoven Estates of
Eastern Woods, Ltd.
Findlay, Ohio 43840
(419) 425-3798

**PETERMAN
ASSOCIATES, INC.**
ARCHITECTS - ENGINEERS - SURVEYORS
10000 N. ...
Findlay, Ohio 43840
Phone: (419) 425-3798
Fax: (419) 425-3799

2. FINAL PLAT #FP-02-2013 filed by George M Whitson, 1706 Imperial Lane, Findlay, OH to replat Lot 2 in the Interstate West Subdivision.

HRPC

General Information

This property is located in the Interstate West Subdivision on the north side of Interstate Drive West. It is zoned C-2 General Commercial. Land to the south and east is also zoned C-2. Land to the north is zoned R-1 One Family in Liberty Township and to the west is zoned R-2 One Family in Liberty Township. The City of Findlay Land Use Plan designates the area as Commercial. The property is not located within the 100 year flood plain.

Parcel History

This Subdivision was recorded in January, 2013. Original Lot 2 was rezoned to C-2 General Commercial in January, 2013.

Staff Analysis

Proposed Lot #3 will be the site of the Hilton Garden Inn as approved at the March 14, 2013 CPC meeting. At the time of the site plan review for the hotel, it was noted that there was the likelihood of this lot being split for that project.

Today's Replat shows a Lot #3 at the corner of CR 300 and Interstate Drive containing 7.701 acres and Lot #4 immediately west with 10.754 acres. All streets are constructed.

ENGINEERING

Drainage easement along south side of Lot 4 is shown as temporary. Spoke with T. Jenkins of Peterman Associates regarding this. He stated that the drainage easement is listed as temporary because the intent is that the large swale area would go away once the parcels are developed and that a more defined easement over a storm sewer would be provided.

FIRE PREVENTION

No Comment

STAFF RECOMMENDATION

Staff recommends that FCPC approve the Replat of Lot #2 of Interstate West Subdivision.

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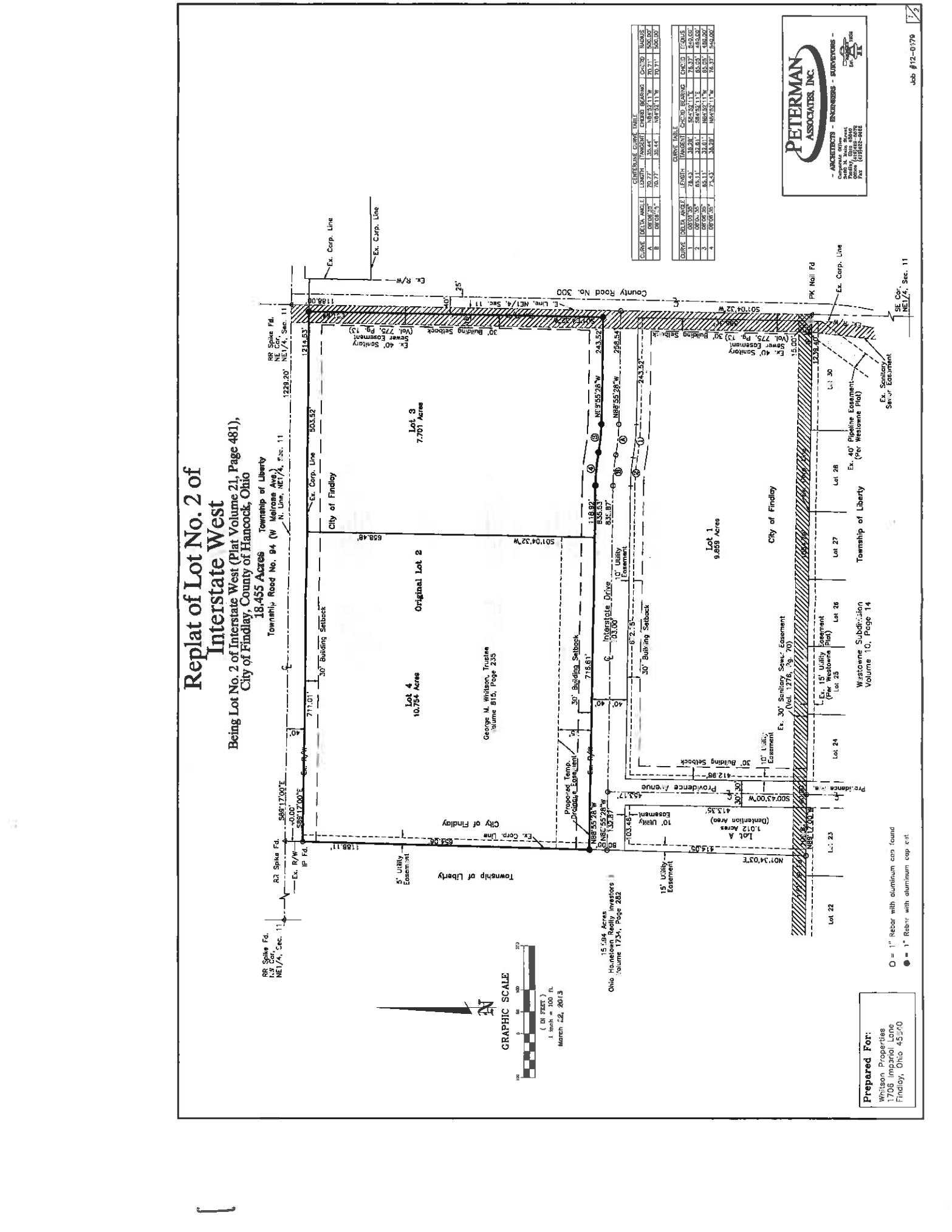
Notes

FINAL PLAT #FP-02-2013
REPLAT OF LOT 2 OF THE INTERSTATE WEST
SUBDIVISION

Replat of Lot No. 2 of Interstate West

Being Lot No. 2 of Interstate West (Plat Volume 21, Page 481),
City of Findlay, County of Hancock, Ohio

18.455 Acres
Township of Liberty
Townsippy Road No. 94 (W
Merriss Ave), Sec. 11



CURVE DATA TABLE					
CURVE	DELTA ANGLE	LENGTH	CHORD BEARING	CHORD LENGTH	AREA
A	90.0000°	70.77	S89.5321°W	50.0000	500.0000
B	90.0000°	70.77	S89.5321°W	50.0000	500.0000
CURVE DATA TABLE					
CURVE	DELTA ANGLE	LENGTH	CHORD BEARING	CHORD LENGTH	AREA
1	90.0000°	70.77	S89.5321°W	50.0000	500.0000
2	90.0000°	70.77	S89.5321°W	50.0000	500.0000
3	90.0000°	70.77	S89.5321°W	50.0000	500.0000
4	90.0000°	70.77	S89.5321°W	50.0000	500.0000



Prepared For:
Whitson Properties
1706 Imperial Lane
Findlay, Ohio 45760

0 = 1" Rebar with aluminum cap found
● = 1" Rebar with aluminum cap not found



3. SITE PLAN APPLICATION #SP-07-2013 filed by Birchaven Estates at Eastern Woods, Ltd., 15100 Birchaven Lane, Findlay for apartment buildings to be located at 7113 Eastern Woods Parkway, Findlay.

HRPC

General Information

This project is to be located on proposed Lot 14 of the replat of Lot 3 in the Eastern Woods Subdivision. It is on the east side of Eastern Woods Parkway and is zoned M-2 Multiple Family High Density. Land to the north is also zoned M-2 and west is zoned CD Condominium and O1 Institutions and Offices. To the east is zoned A-1 Agriculture in Marion Township. To the south is zoned C-1 Local Commercial. The Land Use Plan designates the area as PMUD (Planned Mixed Use Development). It is not located within the 100 year flood plain.

Parcel History

This project is a part of the Birchaven Community which has a mixture of condominiums, apartments, a nursing home facility and various doctor offices.

Staff Analysis

The applicant is proposing to develop a 100 unit apartment complex on 12.658 acres. All units are single story and are in either a 4 unit or 6 unit configuration. The M-2 Multi-Family Residential district requires 3500 square feet of lot not including roadways per each unit. The site could support up to 148 units per this formula.

While the number of units is below the maximum number permitted, it appears that the regulation stating that no more than 40% of the site can be covered with impervious surface may be a problem. According to our calculations there is approximately 247,961 square feet of impervious area on the site. This would include all buildings, street, sidewalks, paved parking areas, driveways, and swimming pool. For the 12.685 acres in the site (552,558.6 square feet) this would calculate to 44.8% impervious coverage.

Parking is required on the basis of 2.5 spaces per dwelling unit plus one per every 2 units for visitors. With the garages provided accounting for 130 vehicles and the areas outside those garages providing space for an additional 130 vehicles, there are 260 spaces for the 100 dwelling units. This exceeds the 250 required. There are an additional 61 spaces on the site in other parking areas to provide for visitor parking. Visitor parking required for 100 units is 50 spaces.

All setback requirements are met. There is a sign location shown at the entry to the complex. Location is correct, but we would like to see a sign detail.

Elevation drawings were submitted. All buildings are single story with a combination of brick and vinyl siding exterior walls. All buildings have covered porch areas and varied roof lines.

The foundation planting drawings were also submitted. The number of shrubs exceeds the requirement of one per every 12 lineal feet of the building circumference. An overall landscaping plan submitted shows a mix of evergreens, ornamental and shade trees which also exceeds the minimum requirements.

Fencing is required around the in-ground pool. We will need detail of the height and type of

fence proposed.

Staff Recommendation

HRPC Staff recommends approval of **SITE PLAN APPLICATION #SP-07-2013** for apartment buildings to be located at 7113 Eastern Woods Parkway subject to the following conditions:

- Correction of lot size to bring the impervious surface percentage to 40% or less
- Details of sign and pool fencing provided and approved

ENGINEERING

Access – Single point of entry onto Eastern Woods Parkway

Water – Recommend the proposed waterline be looped south to the existing water line on Medical Drive South. Line is in a platted easement, assuming they will want public maintenance.

Sanitary Sewer – Connecting to an existing sewer on Eastern Woods Parkway. Line is in a platted easement, assuming they will want public maintenance.

Stormwater Management – On-site drainage system is acceptable. Detention will be provided by regional ponds south of the development. The catch basin in the compactor area shall be connected to the sanitary sewer.

Sidewalks – Eastern Woods Parkway is a private street at this location, thus sidewalks are not required.

Recommendation: Conditional approval of the plan, subject to looped waterline and catch basin modification.

The following permits will be needed prior to construction:

- Sanitary Sewer Permit
- Waterline Permit
- Storm Sewer Permit
- Approved Stormwater Pollution Prevention Plan

FIRE PREVENTION

Plan shows 24' wide access road. Must be 26' (OFC)

Plan shows 80' diameter cul-de-sac. Must be 96' (OFC)

8" dead end water main is over 600'. Main shall be 10" (NFPA) unless the line is looped into the existing 8" line to the south.

Place 1 hydrant at road entrance, 1 halfway and 1 at the cul-de-sac (3 total)

Driving surface (road) shall be installed and hydrants turned on before construction begins.

STAFF RECOMMENDATION

Staff recommends approval of **SITE PLAN APPLICATION #SP-07-2013** for apartment buildings to be located at 7113 Eastern Woods Parkway subject to the following conditions:

1. Correction of lot size to bring the impervious surface percentage to 40% or less (HRPC)
2. Details of sign and pool fencing provided and approved (HRPC)
3. Recommend the proposed waterline be looped south to the existing water line on Medical Drive South. Line is in a platted easement, assuming they will want public maintenance. (ENG)
4. The catch basin in the compactor area shall be connected to the sanitary sewer. (ENG)
5. Plan shows 24' wide access road. Must be 26' (OFC)
6. Plan shows 80' diameter cul-de-sac. Must be 96' (OFC)
7. 8" dead end water main is over 600'. Main shall be 10" (NFPA) unless the line is looped into the existing 8" line to the south.
8. Place 1 hydrant at road entrance, 1 halfway and 1 at the cul-de-sac (3 total)
9. Driving surface (road) shall be installed and hydrants turned on before construction begins.

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Notes

SITE PLAN APPLICATION #SP-07-2013
APARTMENTS AT 7113 EASTERN WOODS PKWY.

4. PETITION FOR ZONING AMENDMENT #ZA-03-2013 filed by RJT Properties, 400 W. Main Cross Street, Findlay, OH to rezone 400,414, & 418 W. Main Cross St., 208 & 214 Liberty Street, Findlay, OH from I-1 Light Industrial to C-3 Downtown Commercial.

HRPC

General Information

The lots in this request are located on the north side of W. Main Cross just west of the intersection of Liberty Street. Land to the west is also zoned I-1 Light Industrial, to the south is C-3 Downtown Commercial and I-1 Light Industrial, and to the east is C-2 General Commercial. An existing home to the north is also zoned I-1 Light industrial. Parts of the land are within the 100 year flood plain. The City of Findlay Land Use Plan designates the area as Downtown.

Parcel History

The lots in this request are the Dietsch Brothers store, parking lot, and residential building which are all owned by RJT Properties.

Staff Analysis

There is a companion site plan next on the agenda for a proposed expansion of the Dietsch Brothers business. The request is in conformance with the City Land Use Plan.

Staff Recommendation

HRPC Staff recommends that FCPC recommend approval to City Council of the **PETITION FOR ZONING AMENDMENT #ZA-03-2013** to rezone 400, 414, & 418 W. Main Cross St., 208 & 214 Liberty Street, Findlay, OH from I-1 Light Industrial to C-3 Downtown Commercial.

ENGINEERING

No Comment

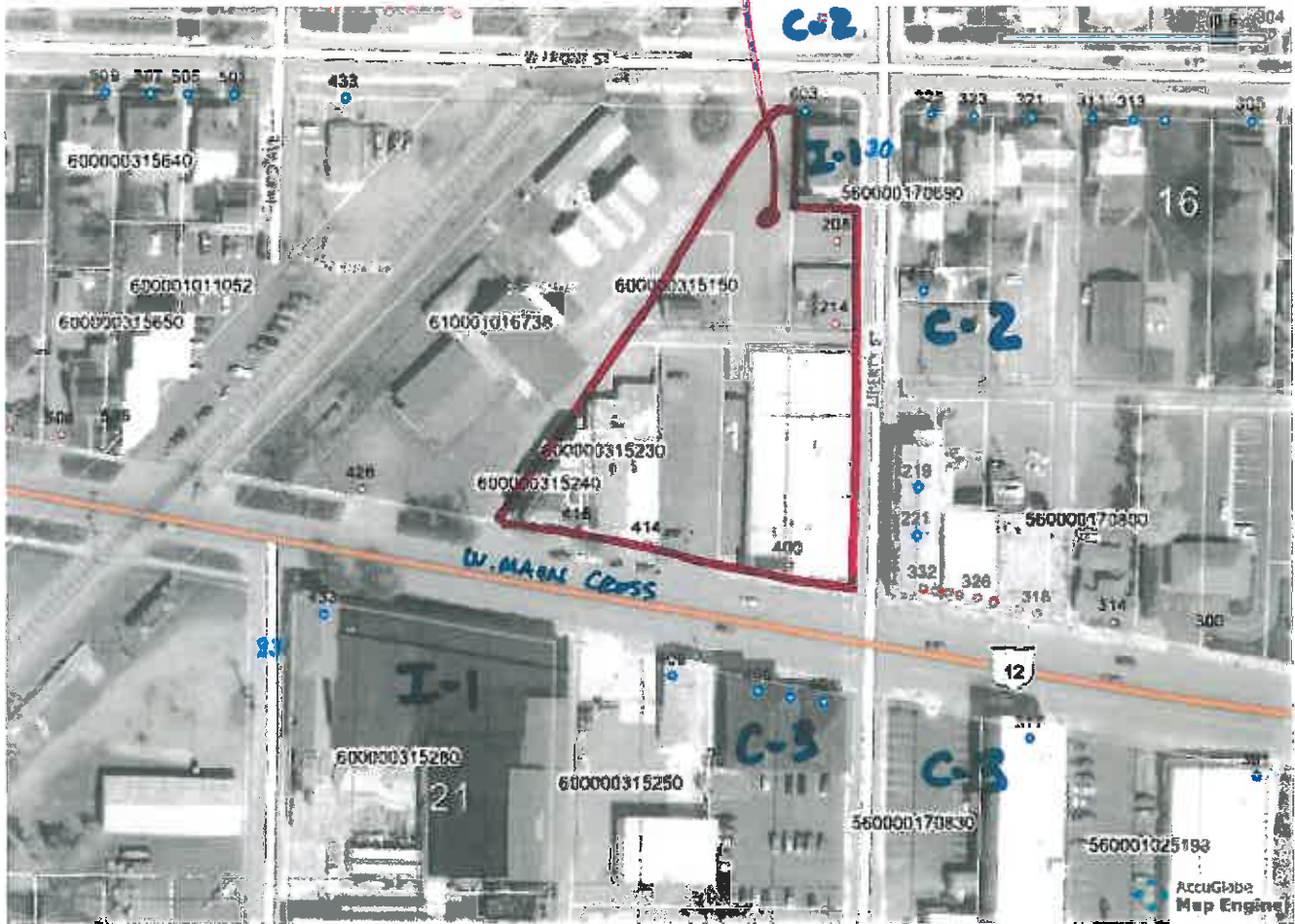
FIRE PREVENTION

No Comment

STAFF RECOMMENDATION

Staff recommends that FCPC recommend approval to Findlay City Council of **PETITION FOR ZONING AMENDMENT #ZA-03-2013** to rezone 400, 414, & 418 W. Main Cross St., 208 & 214 Liberty Street, Findlay, OH from I-1 Light Industrial to C-3 Downtown Commercial.

AREA TO BE REZONED
FROM I-1 TO C-3



Notes

Rezoning Exhibit for
Dietsch Brothers
400 W. Main Cross

Sanitary Sewer – New service will be connected to existing lateral.

Stormwater Management – Current site is 100% impervious so stormwater detention is not required.

Sidewalks – Existing sidewalks will remain.

Recommendation: Approval of the plan

Since all utility connections are being made to existing services, no permits will be required.

FIRE PREVENTION

Any Gas/Electric meters within driving surface shall have crash protection.

Dumpster shall be at least 10' from building.

STAFF RECOMMENDATION

Staff recommends Approval of **SITE PLAN APPLICATION #SP-05-2013** for proposed 7,242 square foot **addition to Dietsch Brothers existing building and additional parking lot** pavement at 400 W. Main Cross Street subject to the following:

1. Any Gas/Electric meters within driving surface shall have crash protection. (FIRE)
2. Dumpster shall be at least 10' from building. (FIRE)

5. SITE PLAN APPLICATION #SP-05-2013 filed by RJT Properties, LLC, 400 W. Main Cross Street, Findlay for proposed 7,242 square foot addition to existing building and additional parking lot pavement.

HRPC

General Information

This request is located on the north side of W. Main Cross just west of Liberty Street. It is currently zoned I-1 Light Industrial, but is requesting to be changed to C-3 Downtown Commercial. Land to the west is zoned I-1 Light Industrial, to the south is C-3 Downtown Commercial and I-1 Light Industrial, and to the east is C-2 General Commercial. Parts of the land are within the 100 year flood plain. The City of Findlay Land Use Plan designates the area as Downtown.

Parcel History

The Dietsch Brothers have been in business at this location since 1955. They have acquired the former Capital Tire site and the parcels north of a soon to be vacated alleyway.

Staff Analysis

The plan will be reviewed using C-3 Downtown Commercial standards.

The applicant is requesting to construct a 7,242 square foot addition on the north end of the existing building. No additional retail/dining space will be added in the addition. The owner will be reconfiguring the working areas and adding some additional production space.

The addition will follow the existing building lines and will extend to within 10' of a remaining home lot which fronts onto W. Front Street. There are no setback requirements in the C-3 district. The plans indicate that the applicant will negotiate with the abutting homeowner to replace their existing chain link fence with a 6' privacy fence.

There is a proposed curb cut on the east (Liberty Street) side of the existing building. A new overhead door is to be installed here. There are two dropped curb areas on this side of the building now going to standard doors. Not sure if this is in the same location as one of these.

Much of the lot is impervious surface now. There will be a slight increase with the new construction. T. Richard has been working with the applicants to obtain any balancing for the flood plain areas.

The plan calls for a second phase of paving the existing gravel lot where Capital Tire had once been. Vehicles park randomly in this area now when the store is busy. Pavement will match with the existing and proper striping will be completed.

ENGINEERING

Access – Access to the site will be restricted to the West Main Cross entrance since the alley off of Liberty Street is being vacated. Access is still sufficient.

Water – New service will be connected to existing tap. (Existing line on Liberty is a dead-end).

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Notes

SP-05-2013
DIETSCH BROTHERS
400 W MAIN CROSS STREET

6. SITE PLAN APPLICATION #SP-06-2013 filed by C Jay's LLC, 15590 Brookfield Heights, Findlay, OH for proposed 100,000 square foot manufacturing facility and associated parking to be located at 5409 Hamlet Drive, Findlay, OH.

HRPC

General Information

This project is located on Lot 5 in the Invision Place Subdivision just south of Hamlet Protein. It is zoned I-1 Light Industrial and all abutting parcels are also zoned I-1. It is not within the 100 year flood plain. The City Land Use Plan designates the area as Industrial.

Parcel History

This is a vacant lot. The Invision Place Subdivision was platted in 2010.

Staff Analysis

The applicant is proposing to construct a 100,000 square foot industrial building with associated parking and truck maneuverability area.

Setbacks in the I-1 District are 50' front, 30' side and 30' rear. All setbacks are exceeded on the site plan.

There are two (2) access points from Hamlet Drive proposed for the site. This street would be classified as a minor road serving the subdivision. We have no issue with 2 cuts in this instance. A 26' wide roadway with heavy duty pavement will circle around the building. Truck docks are located on the north and south sides of the building.

Entry to the parking lot comes off the northern entry point which is on the bulb from the former cul-de-sac. Parking in the I-1 district is calculated as 1.1 space per employee on the largest shift. The plans indicate that there will be 85 employees. This computes to 94 required spaces. The plan shows 95 spaces in the lot.

There is a row of shrubs indicated along the street side of the parking lot as required in the landscape standards of the code. One tree and low shrubs are located within the double size islands at each end of the parking lot. The islands will also have light poles. An existing tree line follows the south and east property lines of the site.

Elevation views provided show the building height at 33'4". This is well within the 60' maximum permitted per the code. There are no architectural standards for industrial buildings.

Staff Recommendation

HRPC Staff recommends approval of the Site Plan for TH Plastics.

ENGINEERING

Access – Two (2) entrances onto Hamlet Drive are proposed. I personally don't have a problem with this, not sure about access management rules.

Water – 2" domestic and 8" fire line will be connected to existing 20" line.

Sanitary Sewer – Will be connected to manhole northeast of Hamlet Protein. Sanitary shall be

private upstream of MH 4A.

Stormwater Management – Existing pond on Hamlet site was sized to accept drainage from this parcel. Catch basin inlet protection shall be installed in the truck dock to meet EPA NPDES post construction practices.

Sidewalks – Not required in Industrial zone.

Recommendation: Approval of the plan, subject to private sewer notation and catch basin inlet protection.

The following permits will be needed prior to construction:

- Sanitary Sewer Permit
- Waterline Permit
- Storm Sewer Permit
- Approved Stormwater Pollution Prevention Plan

FIRE PREVENTION

FFD is assuming a fire pump is not being specified for this facility. A 6” looped water line is preferred around the building with 1 hydrant at each drive (2) and 1 additional hydrant in the northeast corner. In addition, a hydrant shall be placed at least 100’ from the fire department connection (FDC). This hydrant shall not be located on the designated fire line. Water line shall be 8” if a dead end is utilized and 10” if the dead end main is over 600’.

FDC area shall be kept clear of planting material, landscaping, parking spaces, utilities, etc. Outside notification shall be a horn/strobe working on water flow only and placed above the FDC. The FDC shall be a 5 inch Stortz fitting with 30 degree angled elbow.

Any natural gas or electric meter within driving area shall have crash protection.

Any fire hydrants located in the driving area shall have crash protection no closer than 3’.

A Knox Box shall be required for buildings with sprinkler and/or fire alarm systems.

STAFF RECOMMENDATION

Staff recommends approval of **SITE PLAN APPLICATION #SP-06-2013** for proposed 100,000 square foot manufacturing facility and associated parking for TH Plastics subject to the following conditions:

1. Private sewer notation and catch basin inlet protection. (ENG)
2. FFD is assuming a fire pump is not being specified for this facility. A 6” looped water line is preferred around the building with 1 hydrant at each drive (2) and 1 additional hydrant in the northeast corner. In addition, a hydrant shall be placed at least 100’ from the fire department connection (FDC). This hydrant shall not be located on the designated fire line. Water line shall be 8” if a dead end is utilized and 10” if the dead end main is over 600’. (FIRE)
3. FDC area shall be kept clear of planting material, landscaping, parking spaces, utilities, etc. Outside notification shall be a horn/strobe working on water flow only and placed above the FDC. The FDC shall be a 5 inch Stortz fitting with 30 degree angled elbow. (FIRE)

4. Any natural gas or electric meter within driving area shall have crash protection. (FIRE)
5. Any fire hydrants located in the driving area shall have crash protection no closer than 3'.
(FIRE)
6. A Knox Box shall be required for buildings with sprinkler and/or fire alarm systems.
(FIRE)

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Notes

SP-06-2013
TH PLASTICS
5409 HAMLET DRIVE

7. SITE PLAN APPLICATION #SP-08-2013 filed by MFB Findlay LLC/RD Management, LLC. 810 Seventh Avenue, New York, NY for proposed sporting goods store to be located at 1960 Tiffin Avenue, Findlay, OH.

HRPC

General Information

This project is located on the north side of Tiffin Avenue on the east side of the existing Hobby Lobby store. The parcel is zoned C-2 General Commercial and all parcels to the east, west and south are also zoned C-2. The land to the north is zoned MH Mobile Home District. It is not within the 100 year flood plain. The City of Findlay Land Use Plan designates the site as Regional Commercial.

Parcel History

This location is the site of the former Aldi Grocery Store.

Staff Analysis

The applicant is proposing to demolish the existing building on the site and construct a 35,000 square foot Dicks' Sporting Goods store in its place. The new building will abut the east wall of the existing Hobby Lobby store.

The front line of the new store will follow the front line of the Hobby Lobby. The west side will be connected to that store. The east side of the building is shown at only 12.75 feet from the property line. The minimum side yard is 15'. If the 15' cannot be achieved, a variance will need to be sought from the BZA. The tight spacing here may also be detrimental to access for safety services. The other stores in the strip access the rear of their buildings from the west side so perhaps an access agreement from those properties would work.

Parking in the General Commercial district is based on one space per 375 square feet. The 35,000 square foot store would require 94 spaces. Since this is a strip mall arrangement with shared access, using all the square footage of the buildings would require 290 parking spaces. There are 390 across the site. There are no changes shown for the parking lot. There is no new access requested for the new development.

Two sign locations are indicated on the plan. The location indicated as the "10' x 10' Aldi Sign Easement" may have an existing pole still in place. However, once the sign cabinet was removed, the location was no longer legal for a new sign. If the old cabinet was still in place the face could have been changed out for a new user. Since that is gone, the use of that non-conforming sign is gone. A site such as this that has multiple tenants sharing access and parking is permitted one pylon sign. The second location indicated on the plan for a sign is the existing Hobby Lobby/Planet Fitness pylon. The new business can co-locate a sign on this pole. The size permitted will be determined by the square footage already in use by the other businesses. The code allows for lots with more than 100' of road frontage to have ½ square foot of sign face per lineal feet of frontage. In this case the frontage is 395 which allows for a total of 197.5 square feet of total sign face.

The maximum height in the C-2 district is 60 feet. The plans show the height of the building to be 43'-4". Because the north end of the building abuts a residential use (Chateau East mobile home park), screening will be required on this border. The lot for the Dick's store is about 200'

wide in the rear and directly abuts the pond area of the mobile home park site. Staff is comfortable with permitting a lower level of screening per the options in the code. 1161.07.3 Level 2 screening Option 1 provides for 4 canopy and 4 evergreens per 100 lineal feet of boundary.

Architecturally, the front façade has incorporated elements of vertical and horizontal articulation. The entry way is clearly pronounced. The rear view of the building has a line of view of the front parapet wall. The east side wall has the side of the parapet wall and demarcation by color striping.

Landscaping for this site is a challenge. The parking lot is not being changed and there is very little existing green space on this preexisting site. The plan shows two islands in the sidewalk area flanking the main entry indicating 2 trees and 4 shrubs in each. There is a triangular green area on the east side of the building showing 3 shade trees and indicating foundation planting of shrubbery along that wall also. If this area is needed for access there may not be room for as much foundation planting as shown. Staff is willing to work with the developer on flexibility in the landscaping standards due to the nature of the site.

Staff Recommendation

HRPC Staff recommends approval of the site plan subject to:

- Rectification of the east setback either by reduction in building or variance obtained from BZA
- Screening along north side of property
- Approval of a landscaping plan

ENGINEERING

Access – Access to the site would remain unchanged. Access around the building will be impeded. Recommend easement of access acquired from adjacent property or building width reduced to allow for emergency vehicle and truck circulation and eliminate need for side yard variance.

Water – New service will be connected to existing tap. The site plan does not identify if a separate line for fire protection will be installed.

Sanitary Sewer – New service will be connected to existing lateral.

Stormwater Management – Detention calculations will be required due to increase in impervious area.

Sidewalks – Existing sidewalks will remain.

Recommendation: Approval of the plan subject to access agreement or reduced building width and approved detention calculations.

Since all utility connections are being made to existing services, no permits will be required, unless a new line for fire protection is required.

The following permits will be needed prior to construction:

- Approved Stormwater Pollution Prevention Plan

FIRE PREVENTION

- Provide access drive on the east side of the structure for deliveries and FFD trucks.
- Provide fire hydrant within 100' of the Fire Department Connection (FDC). Hydrant shall not be placed on the designated fire line and be supplied by a minimum of a 6" water main if looped. Water main shall be at least 8" if the water main is not looped (dead end).
- FDC location shall be approved by FFD
- FDC area shall be kept clear of planting material, landscaping, parking spaces, utilities, etc. Outside notification shall be a horn/strobe working on water flow only and placed above the FDC. FDC shall be 5 inch Stortz fitting with 30 degree angled elbow.
- Any natural gas or electric meter within driving area shall have crash protection.
- Any fire hydrants located in the driving area shall have crash protection no closer than 3'.
- A Knox Box shall be required for buildings with sprinkler and/or fire alarm systems.
- Hobby Lobby has 2 existing emergency exit doors on the eastern wall for direct exterior access. If adjoining this existing structure, how will the emergency exits be addressed?

STAFF RECOMMENDATION

Staff recommends approval of **SITE PLAN APPLICATION #SP-08-2013** for proposed Dick's Sporting Goods store at 1960 Tiffin Avenue subject to the following conditions:

1. Rectification of the east setback either by reduction in building or variance obtained from BZA (HRPC & ENG)
2. Screening along north side of property (HRPC)
3. Elimination of second sign as indicated (HRPC)
4. Approval of a landscaping plan (HRPC)
5. Approval of detention calculations due to increase in impervious area. (ENG)
6. Approved Stormwater Pollution Prevention Plan (ENG)
7. Provide access drive on the east side of the structure for deliveries and FFD trucks. (FIRE)
8. Provide fire hydrant within 100' of the Fire Department Connection (FDC). Hydrant shall not be placed on the designated fire line and be supplied by a minimum of a 6" water main if looped. Water main shall be at least 8" if the water main is not looped (dead end). (FIRE)
9. FDC location shall be approved by FFD (FIRE)
10. FDC area shall be kept clear of planting material, landscaping, parking spaces, utilities, etc. Outside notification shall be a horn/strobe working on water flow only and placed above the FDC. FDC shall be 5 inch Stortz fitting with 30 degree angled elbow. (FIRE)
11. Any natural gas or electric meter within driving area shall have crash protection. (FIRE)
12. Any fire hydrants located in the driving area shall have crash protection no closer than 3'(FIRE).
13. A Knox Box shall be required for buildings with sprinkler and/or fire alarm systems. (FIRE)

14. Hobby Lobby has 2 existing emergency exit doors on the eastern wall for direct exterior access. If adjoining this existing structure, how will the emergency exits be addressed? (FIRE)

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Hancock County GIS



Notes

SP-08-2013
DICK'S SPORTING GOODS
1960 TIFFIN AVENUE



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 CONSULTANTS

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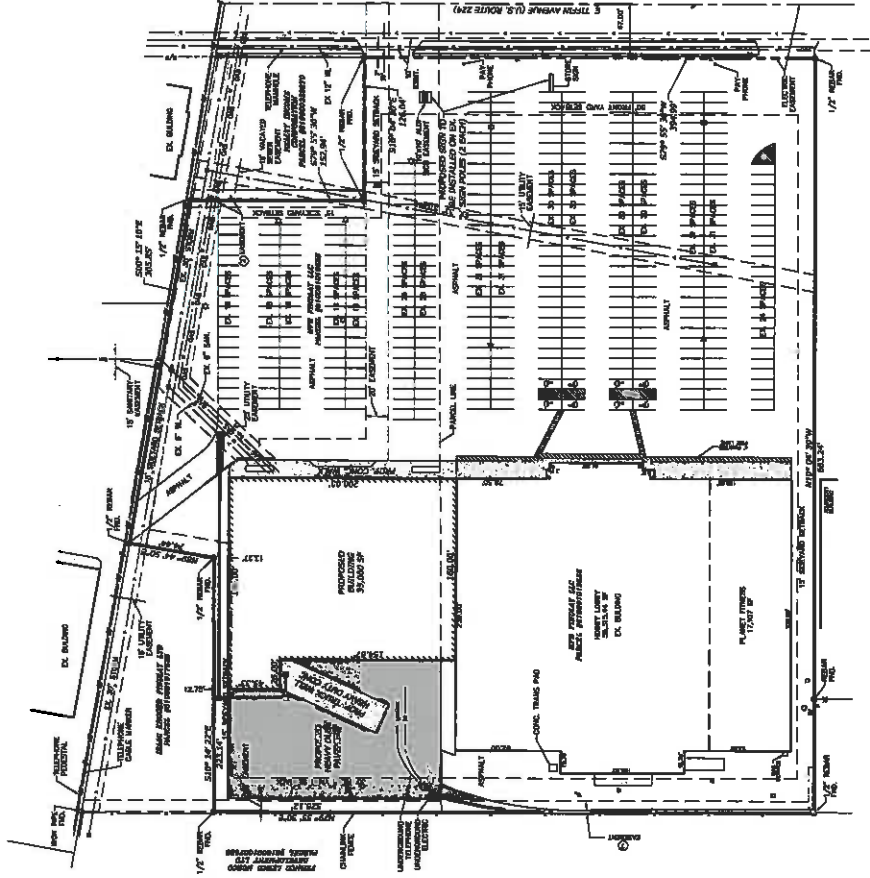
Scale
 1" = 100'

PREPARED FOR:
RD MANAGEMENT
 810 SEVENTH AVE
 NEW YORK, NEW YORK
SITE ADDRESS:
 1840 TIPKIN AVENUE,
 FINDLAY, OH

OVERALL PROPOSED SITE PLAN

MARK	DATE	REVISIONS

DATE:	111
SCALE:	RMG
PROJECT NO.:	DNS
DATE:	3/27/13
BY:	A. LAMPKIN
CHECKED BY:	A. LAMPKIN
DATE:	5/2/13
SCALE:	SP2



THE USE OF ANY AREA FIELD OR THE COLOUR TO INDICATE OR MARK ON THE PLAN IS ONLY FOR INFORMATION PURPOSES AND DOES NOT CONSTITUTE AN ASSURANCE OR WARRANTY OF ANY KIND BY THE CONSULTANT. THE CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO THE DESIGN OF ANY STRUCTURE OR THE PERFORMANCE OF ANY SYSTEMS. THE CONSULTANT SHALL BE LIABLE ONLY FOR THE PROFESSIONAL SERVICES PROVIDED.



LEGEND

- EXISTING TRUCK
- EXISTING WALK
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING CURB
- EXISTING PAVEMENT
- EXISTING CONCRET
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING CURB
- EXISTING PAVEMENT
- EXISTING CONCRET
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING CURB
- EXISTING PAVEMENT
- EXISTING CONCRET